



SETBACK



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HISTORIC CONTEXT

The Over-the-Rhine Historic District was developed as a dense walking neighborhood with the vast majority of buildings built directly up to the sidewalk. This mostly zero setback environment presents a rich pedestrian experience full of vitality, visual interest, and public access to commercial property. A majority of buildings are also built up to the side property lines, though some buildings have small side setbacks. In rare cases, small, detached residential buildings are set back from the street using a low, visually-permeable, decorative, iron fence to mark the edge. Some larger institutional buildings such as schools, churches, and public buildings are set back from the street to provide public space, adding to their civic monumentality.

The Over-the-Rhine Historic District is dominated by zero setback streetscapes, as seen here in the 1400 block of Vine.



Some side streets and portions of blocks have groups of buildings with small front and/or side setbacks, as seen here at 211-217 Orchard Street.



SETBACK

GUIDELINE INTENTION

New buildings are to respect the established setback pattern on the street. A zero lot line setback at the front and on the sides should be the first response to a new construction project unless a majority of other contributing buildings along the block face have setbacks.

01

Buildings must be built with zero setback from the front property line, except as defined in 02.

02

Buildings may have a front setback if all of the following conditions exist:

- The building is a residential building.
- A majority of non-institutional contributing buildings located within the same block face* have a front setback of at least two feet.
- The previously existing historic building on the site had a setback of at least two feet.
- The setback is within 15% of the average setback of those contributing buildings defined in 02b.

03

Buildings must be built with zero setback from both side property lines for at least the first 20 feet of the building, except as defined in 05.

04

Buildings should have a side setback on one side if all of the following conditions exist:

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Note

* If there are fewer than three (3) non-institutional contributing buildings located within the same block face, then the quantity of buildings used to calculate a majority must include non-institutional contributing buildings located within the same block face, plus an additional block face in both directions.

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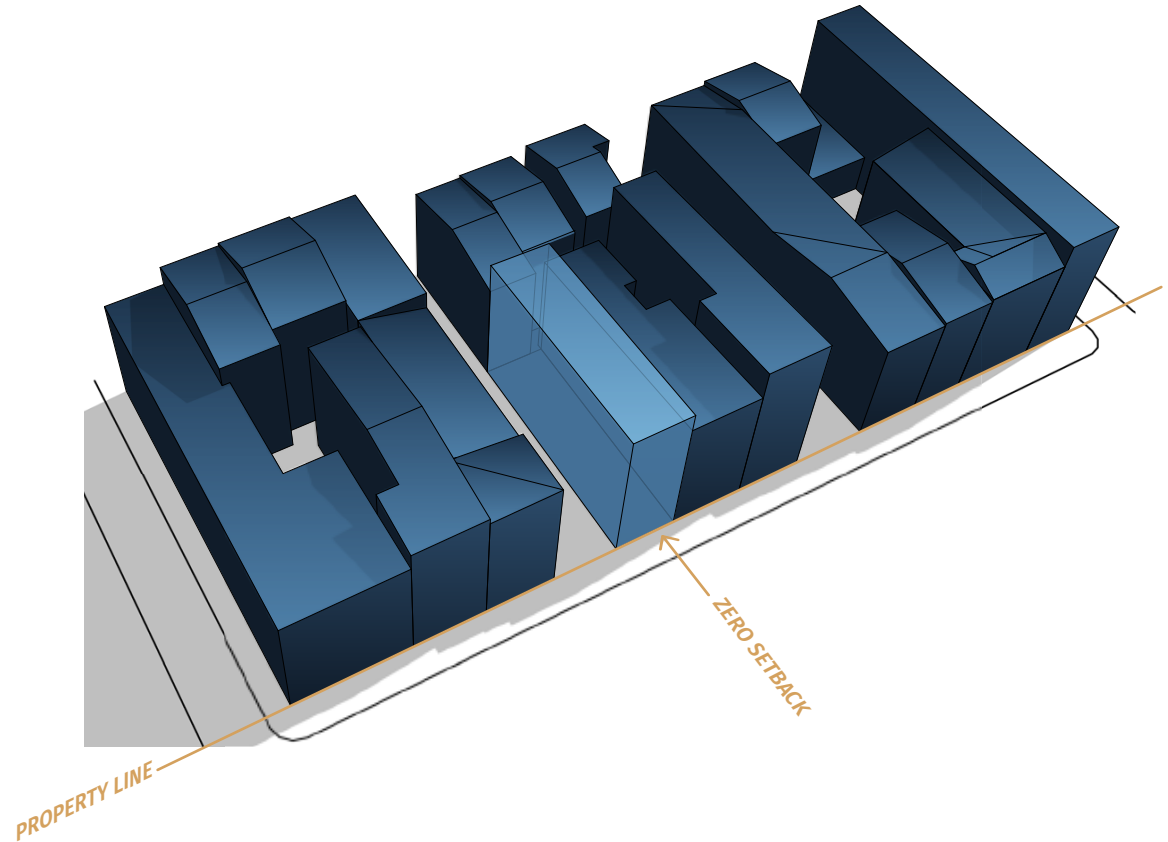
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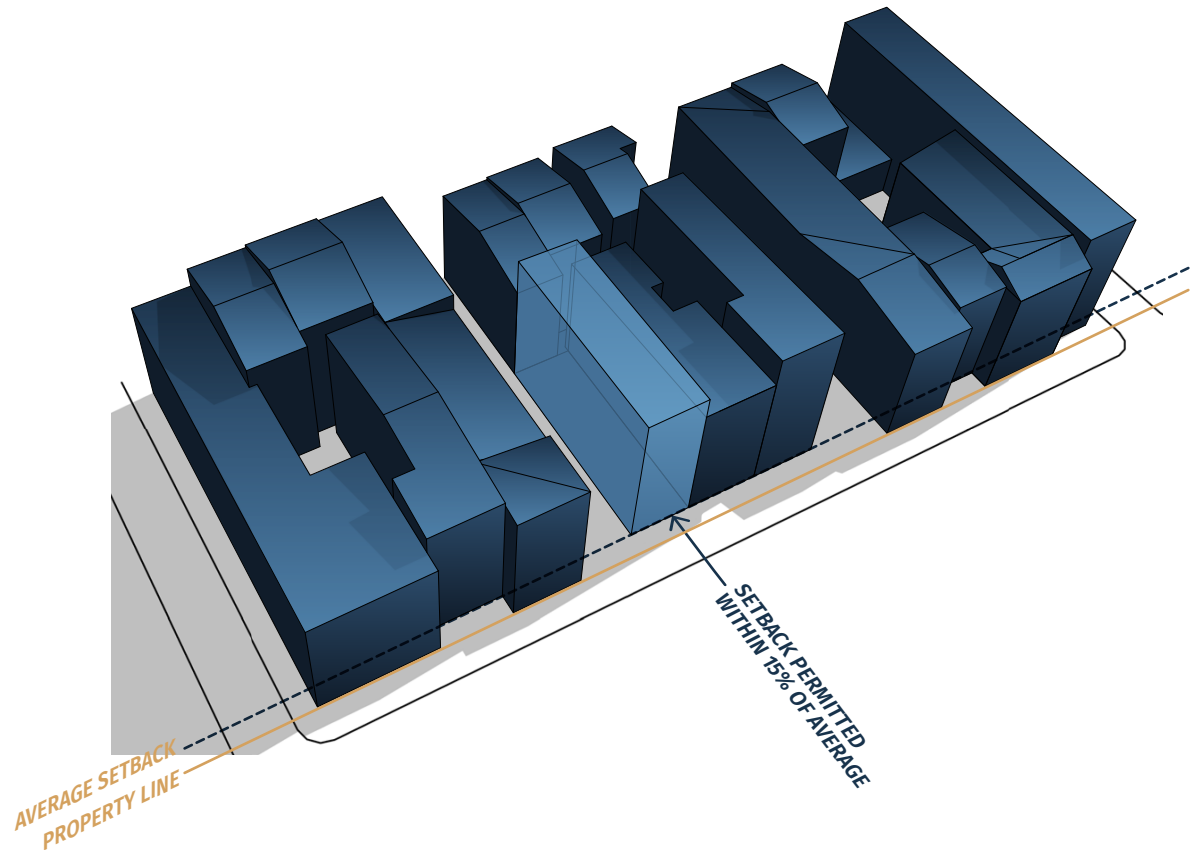
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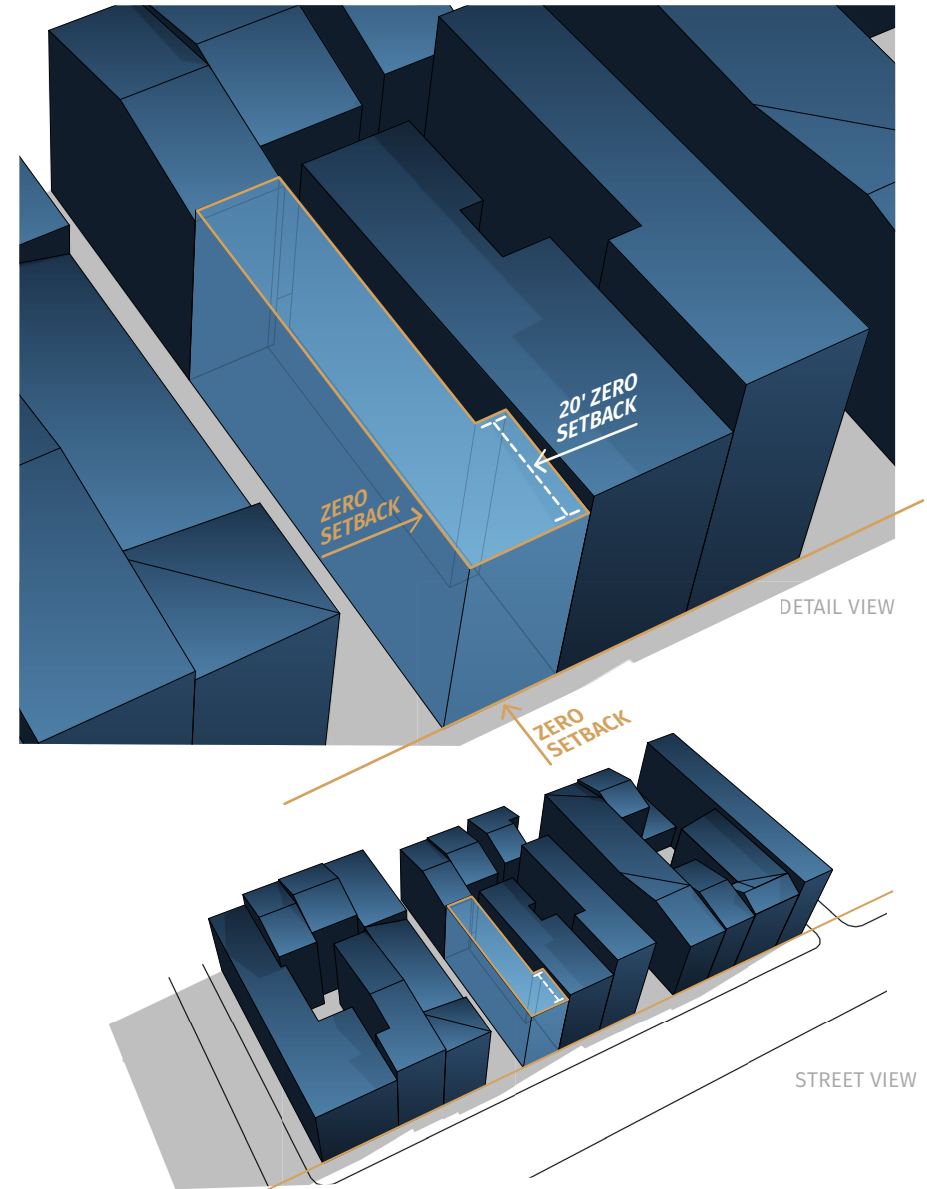
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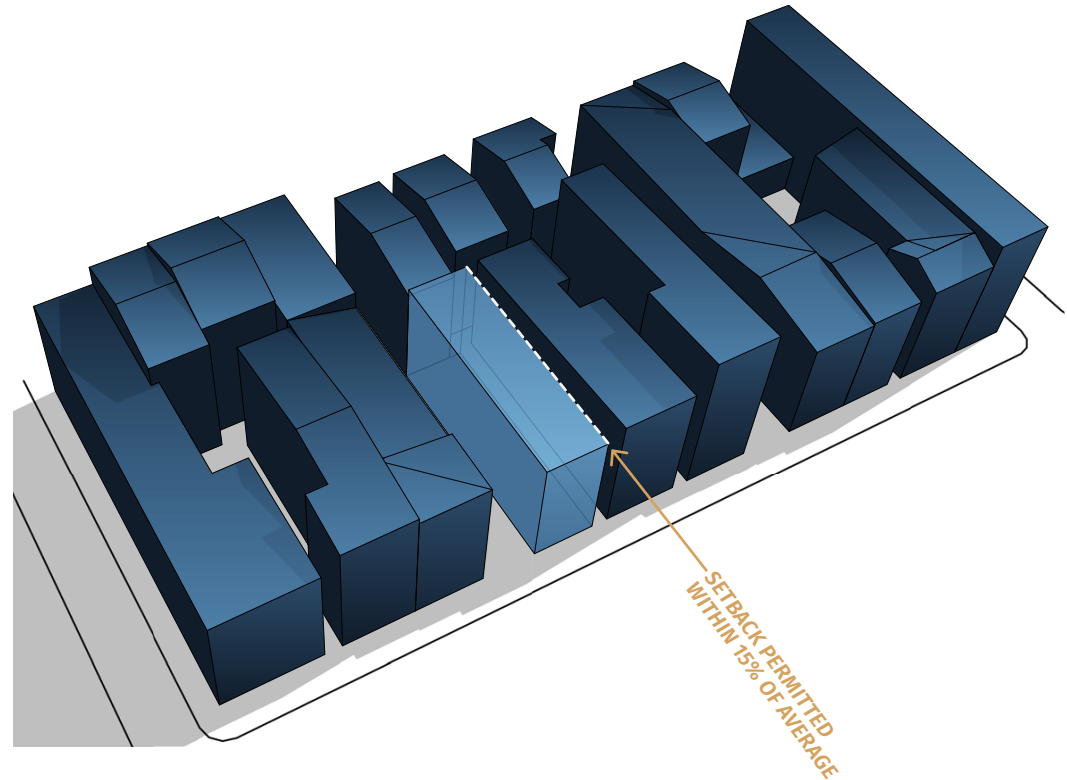
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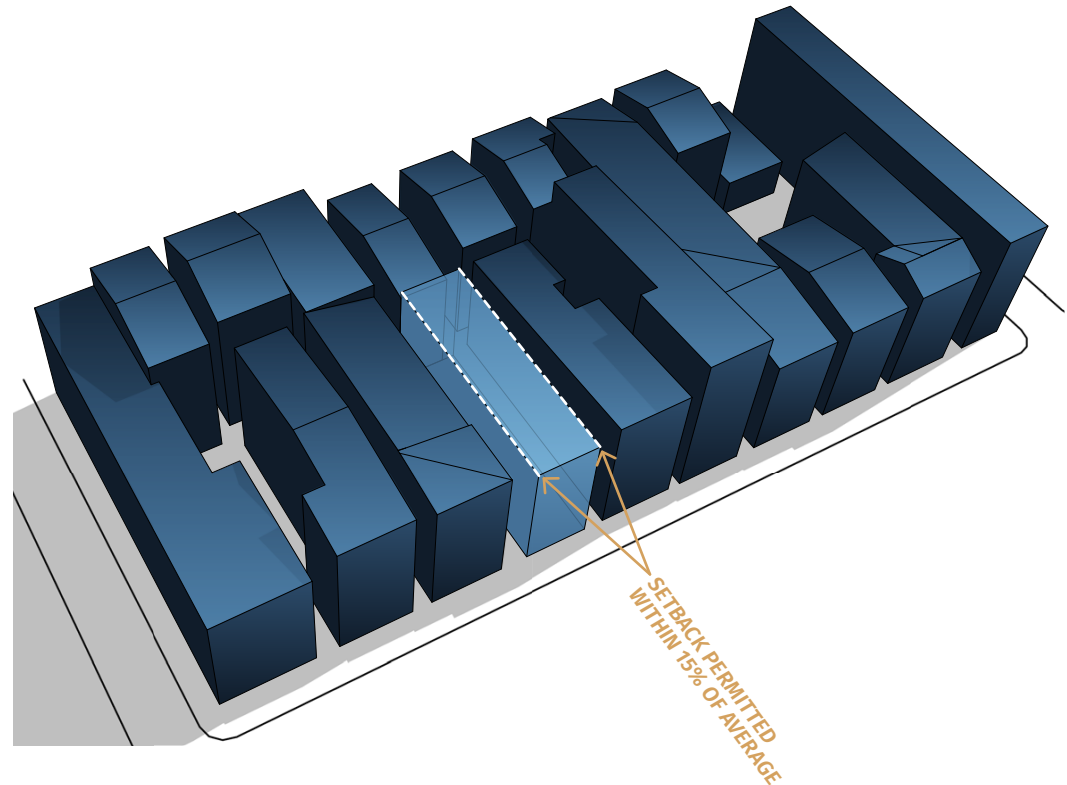
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C. TOP

B. MIDDLE

A. BASE

COMPOSITION



COMPOSITION

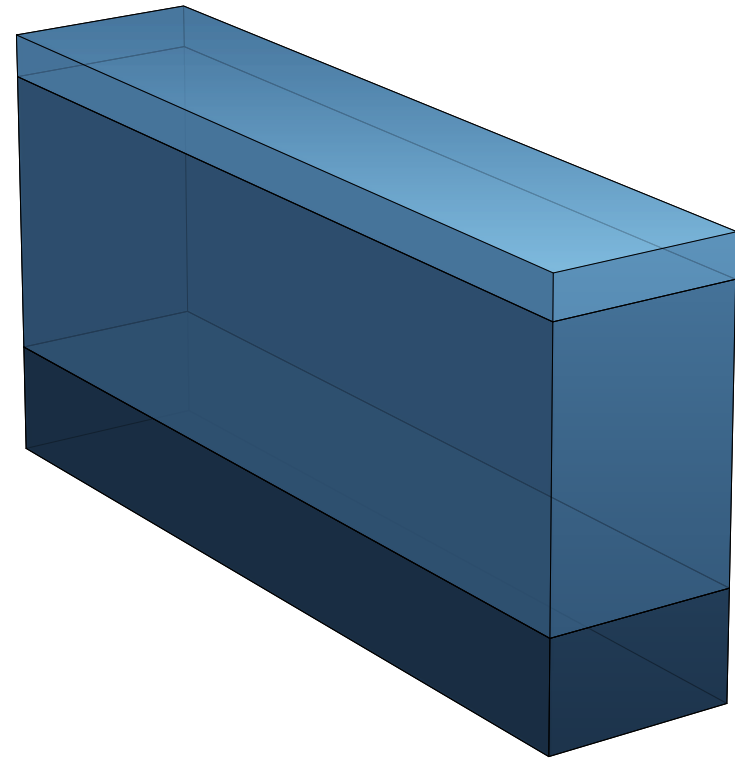
HISTORIC CONTEXT

Typical buildings in the district have a three-part organization consisting of a base, middle, and top. Each of these elements plays a specific role in the composition of the building.

While there is a distinct difference in the bases of commercial and residential buildings, the middle and top components of Over-the-Rhine Historic District buildings are similar across different uses.



1119 and 1121 Walnut Street demonstrate composition in residential and mixed-use buildings.



COMPOSITION: BASE

HISTORIC CONTEXT

Commercial Storefronts

First-floor storefronts are common and are a significant architectural feature in the district's mixed-use buildings. Storefronts take on a dual role. First, as the place where merchants display their wares, they allow customers to “window shop”, thus providing intimate contact with the pedestrian. Second, by forming the architectural base of the mixed-use building, they also give scale, rhythm, and texture to the street.

Storefronts are prevalent on commercial arterials, but are also found interspersed on predominantly residential streets -- particularly on corner buildings. Corner storefronts typically wrap the facade to face both streets.

During the latter decades of the 19th-century, most storefronts were built of brick columns faced with sandstone or cast iron pilasters. Architecturally, styles include Greek Revival, Italianate, and Queen Anne. Detailing ranges from very simple stone piers and lintels to very elaborate cast iron columns assembled in a variety of patterns. The exact size, scale and level of detail vary greatly from building to building, but most storefronts share a common design framework.

Residential Bases

Residential bases often consist of a stone foundation, typically rising nine to 24 inches above grade and capped by a projecting sandstone or limestone water table. Some bases contain windows that provide ventilation and light to the building's basement. Residential bases may also be characterized by the presence of stoops leading to an elevated entry. These stoops vary in height, but are generally consistent in form and height with other stoops within the same block face.



1708 Elm Street exhibits the characteristics of residential bases.



119 E 12th Street exhibits the characteristics of commercial storefronts.

COMPOSITION: BASE

COMMERCIAL/MIXED-USE BUILDINGS

GUIDELINE INTENTION

New storefronts should evoke the scale and proportions of historic storefronts in the district, and should provide visual interest, transparency, and a consistent street wall.

01

Commercial/mixed-use buildings must have a storefront, as follows:

- a. Storefronts should feature the basic components of a storefront system, including a bulkhead, transom windows, display windows, columns, pilasters, storefront cornice/lintel, and entry door.
- b. Storefront height should be within 10% of the average height of contributing storefronts located within with same block face.*
- c. Storefront window sills should be between 18 inches to 3 feet above grade.
- d. Storefront windows should be recessed from the structural storefront elements.
- e. Door and window glazing should comprise at least 60% of the total storefront system. Transparency of greater than 60% is encouraged, but complete storefront transparency is not appropriate.
- f. Door and window glazing should not be covered by systems that obscure the view of the glazing from the public realm.

02

Storefronts should be taller than individual upper floors.

03

Commercial/mixed-use buildings may have garage doors/garage door openings. These may be placed on a street-facing wall if all of the following conditions exist:

- a. There is no feasible or practical alley access, as determined by the Department of Transportation and Engineering, that would permit the placement of garage doors or garage door openings on an alley rather than a street-facing wall.
- b. The garage doors/garage door openings give the appearance of a storefront and incorporate the major features of a storefront as outlined in Chapter 03A-01.

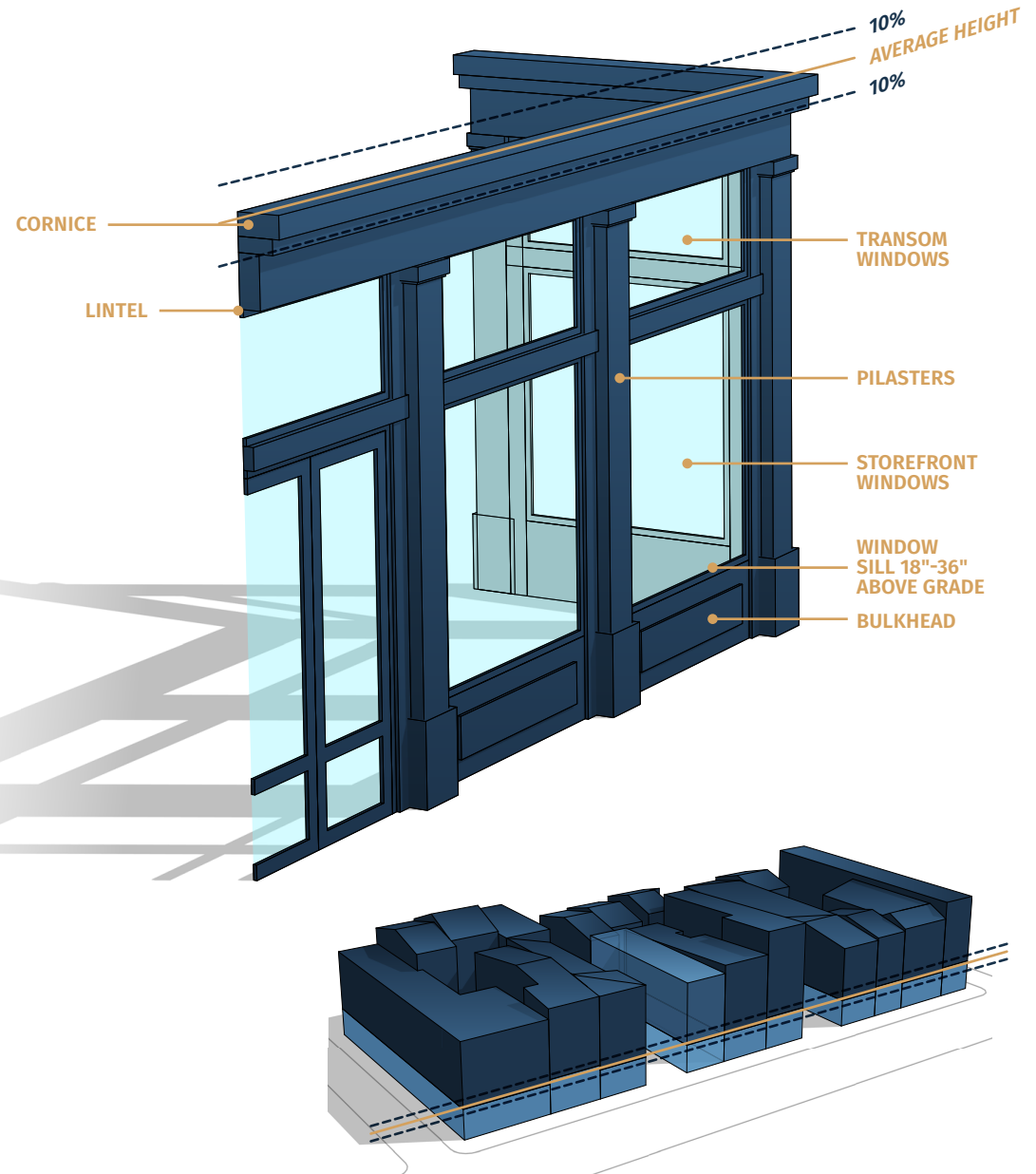
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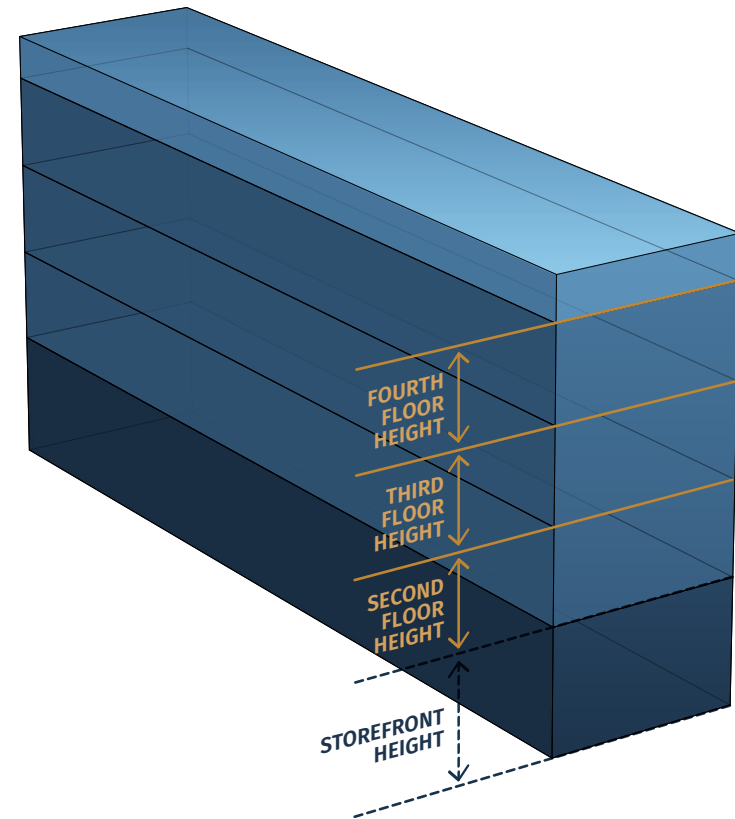
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COMPOSITION: BASE

RESIDENTIAL BUILDINGS

GUIDELINE INTENTION

Residential bases are to be well defined and distinguishable from the middle component of a building.

01

Buildings should have a base component represented by a change in material and/or design that marks the transition from base component to middle component.

02

Base component height should be within 15% of the average height of base components on contributing residential buildings located within the same block face.

03

Buildings may have garage doors/garage door openings if all of the following conditions exist:

- a. The garage door or opening is not located on a street-facing wall.
- b. The opening is limited to a single car opening.